

FLEXCAVES™

B E F U N C T I O N A L



FlexCaves

250 E. 135th St.
Martin City, MO 64145

Why Own a PrimeCave?



Owning your own PrimeCave isn't just about space—it's about freedom, stability, and long-term value. When you purchase instead of lease, every dollar you spend builds equity in a premium real estate asset designed to grow with you. Ownership gives you control, tax advantages, and the security of knowing your luxury retreat, storage hub, or personal workspace is truly yours.



Benefits of Ownership



Build Equity

Turn monthly payments into long-term wealth instead of rent receipts.



Control & Stability

Enjoy the stability of owning your space with predictable costs and long-term security.



Tax Advantages

Potential depreciation and deductions can reduce your taxable income.



Legacy Asset

Own something you can pass down, repurpose, or sell in the future.



Wealth Diversification

Add a stable, tangible real estate asset to your portfolio that balances risk and strengthens long-term wealth.

What's Included – In-Unit (Standard in Every FlexCave)

- Fully finished interior (insulated, sheetrocked, painted)
- Full climate control (heating and air conditioning standard)
- Finished mezzanine level (heated and rentable space)
- Private half bath
- High ceilings with wide 14' overhead garage door
- Dedicated electrical service
- Pre-wired for cable and high-speed internet
- Clean, polished concrete floors / LVP mezzanine floors

SHOPCAVES

Storefront Units with
Rear Storage



Retail Entrepreneur

PROCAVES

Workspace for Utility &
Lifestyle



Contractors & Solopreneurs

PRIMECAVES

Flexible, Showcase
Retreats



High Net worth Individuals & Professionals

Configurable Unit Options

(Selected by Unit Type – e.g., PrimeCave A, B, C)

- Kitchenette packages
- Dedicated office rooms / enclosed office space
- Center islands and built-in workbench areas
- Big-Ass Fans (HVLS ceiling fans)
- Integrated storage and cabinetry layouts

These features are selected based on the unit configuration at the time of lease or purchase, similar to choosing a floor plan rather than adding upgrades later.

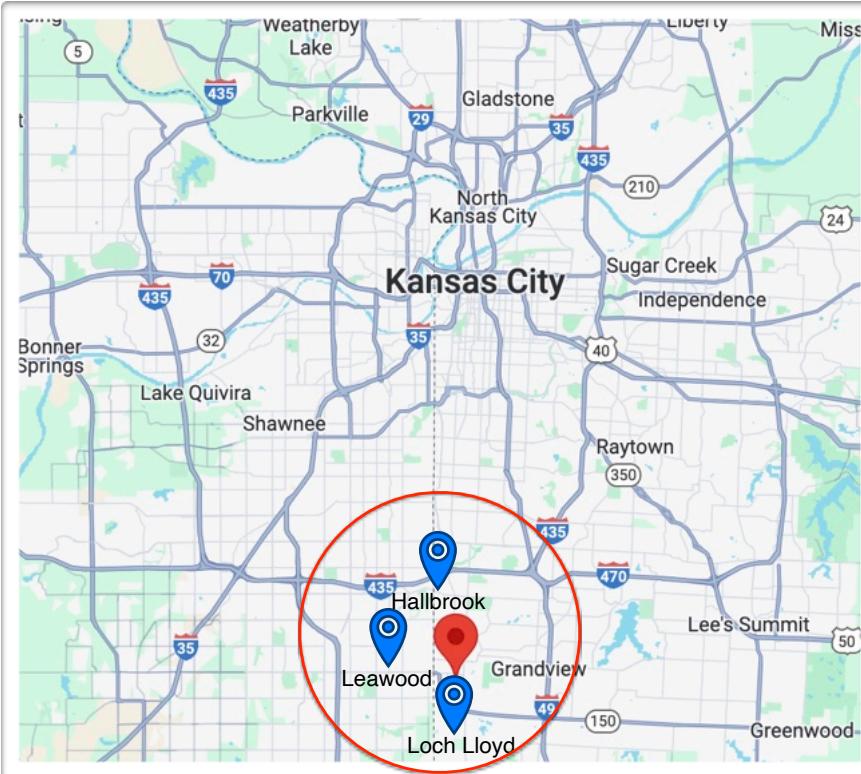


What's Included – On Property

- Gated and controlled site access
- Secure Passage security platform included
- AI-enabled perimeter cameras
- License plate recognition technology
- Facial recognition capability
- Autonomous drone patrols for after-hours monitoring
- Autonomous Incident Drone Response
- Integrated video recording and automated incident response
- Professional site lighting and visibility
- Wide drive aisles and easy maneuverability
- Premium common areas and business-friendly site design



LOCATION / SITE - Kansas City, MO (Martin City District)



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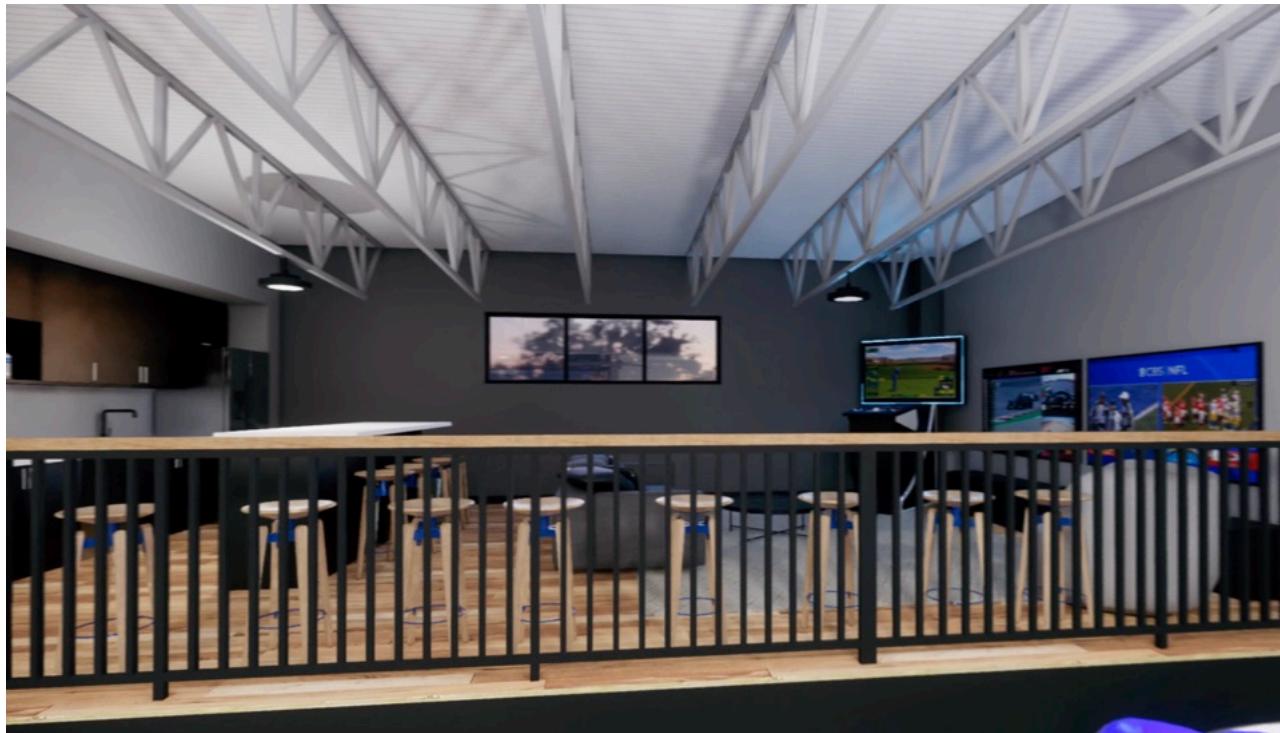
High Net worth Individuals & Professionals

ProCaves & PrimeCaves

ShopCaves - Retail/Office





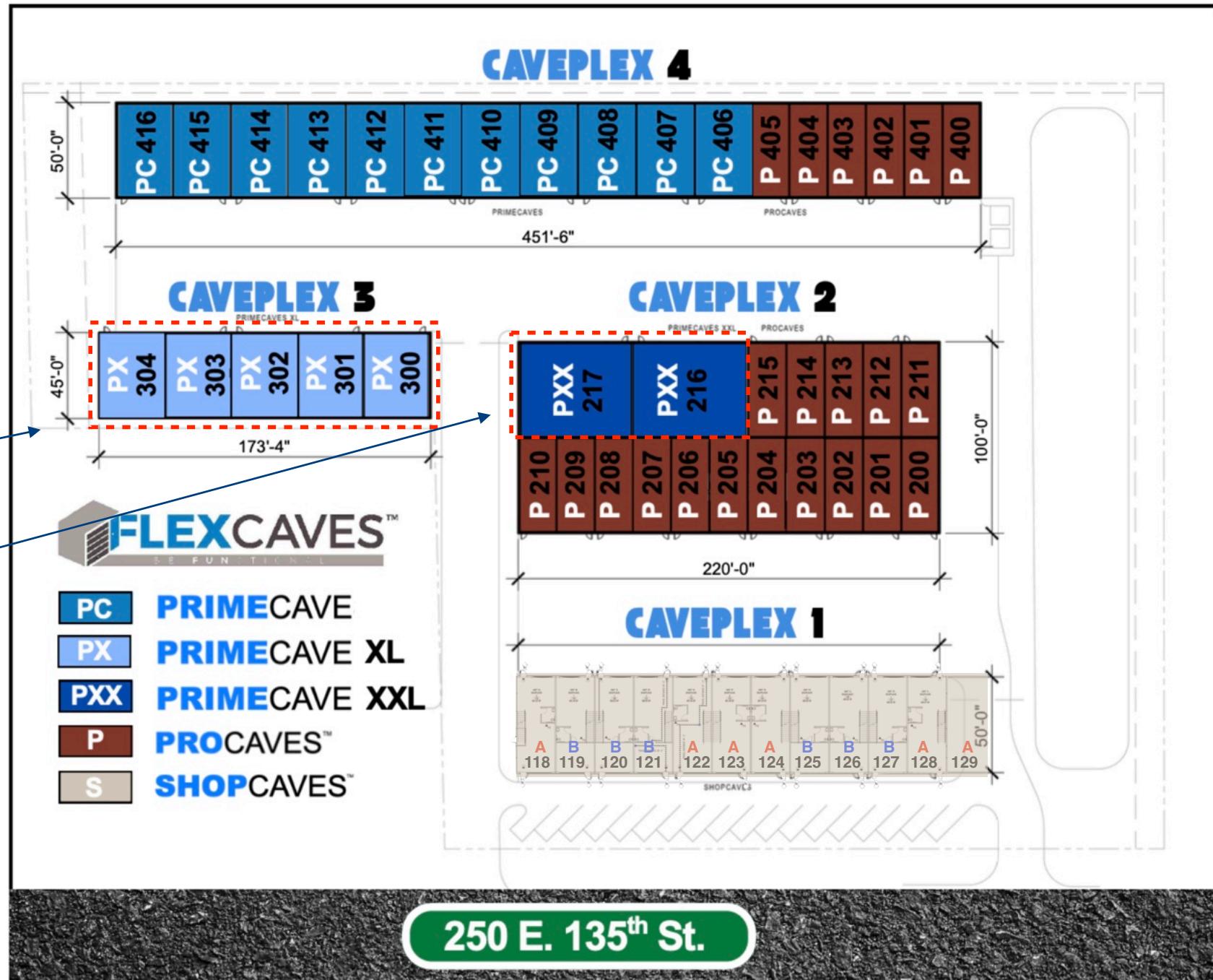


Limited Purchase Availability:

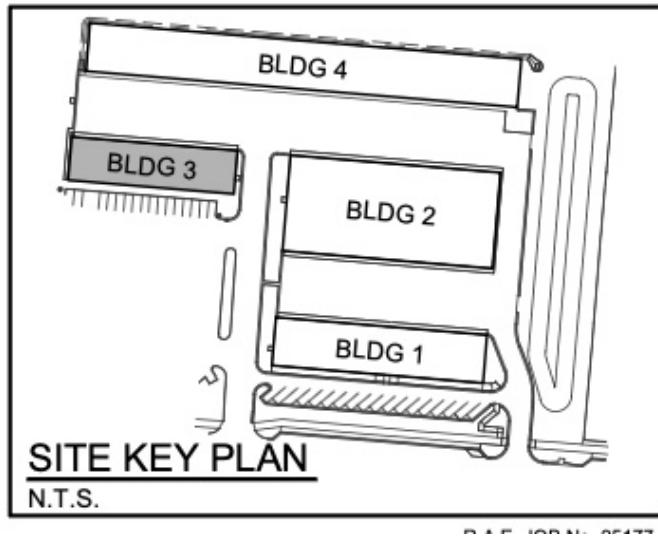
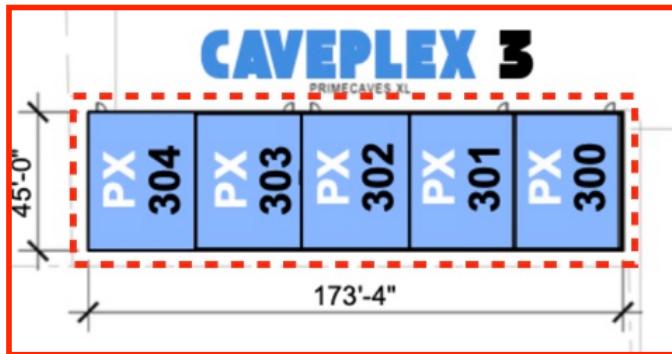
Only 7 Caves available for sale —

5 PrimeCave XLS
(\$730,000)

2 PrimeCave XXLs
(\$1,170,000)



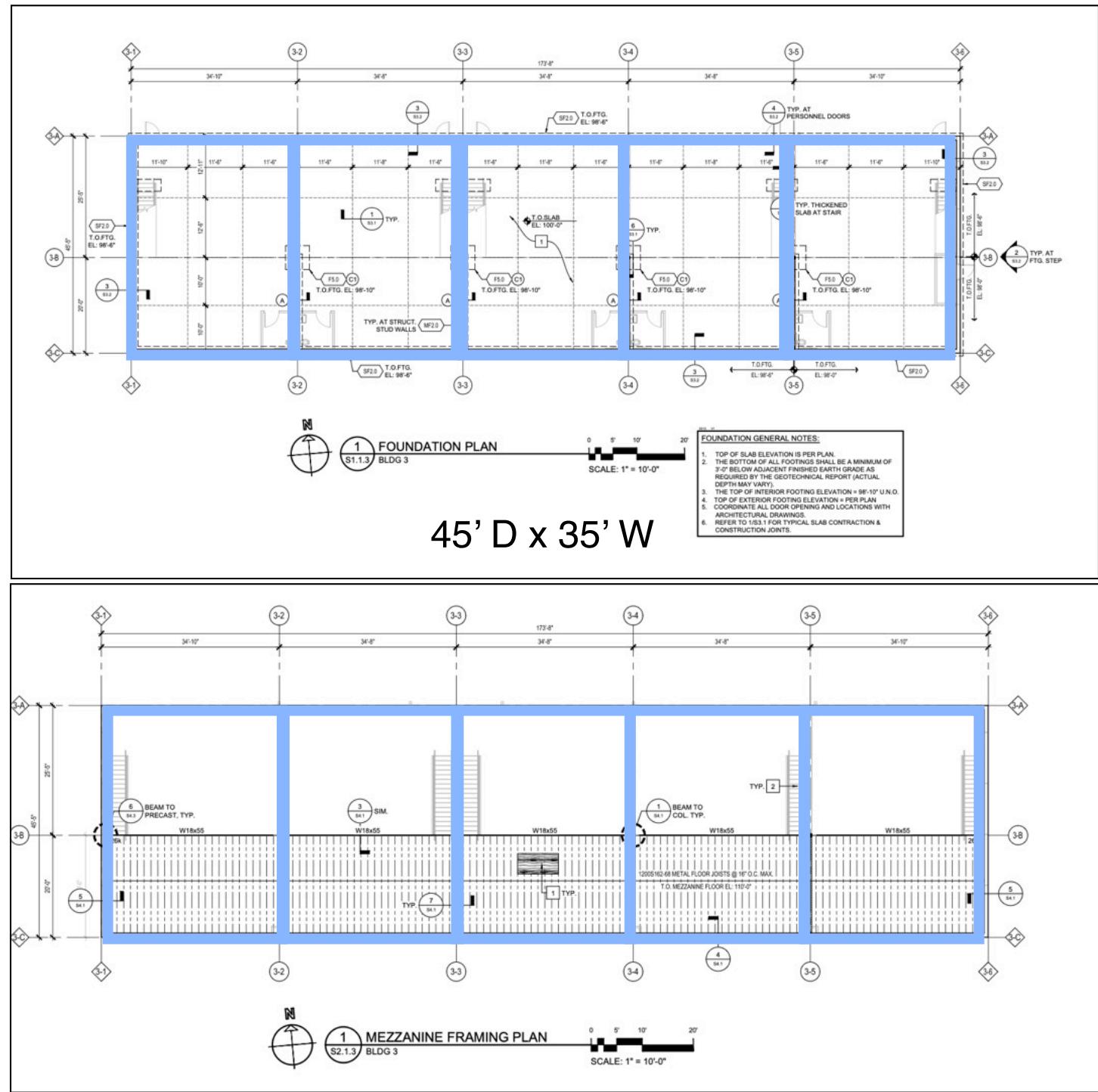
PRIMECAVE XL



Total Sqft: 2,250

3 Yr. Lease \$5,365/mo. (NNN)

Purchase: \$730,000

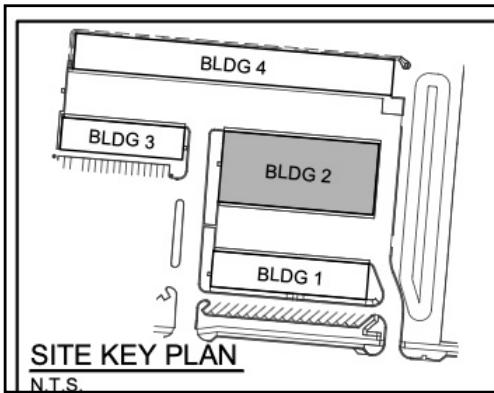
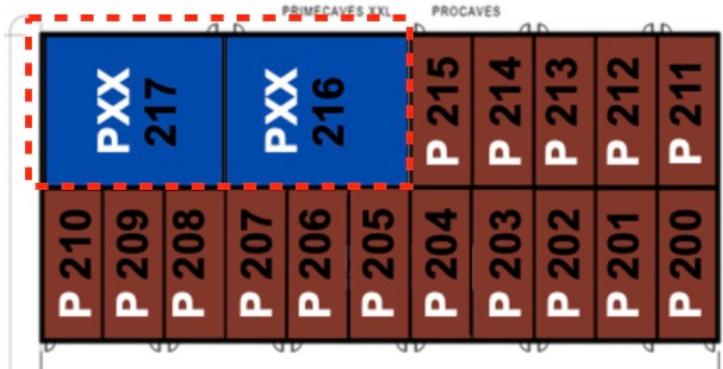


First Floor
1,650 sqft

Mezzanine Level
600 sqft

PRIMECAVE XXL

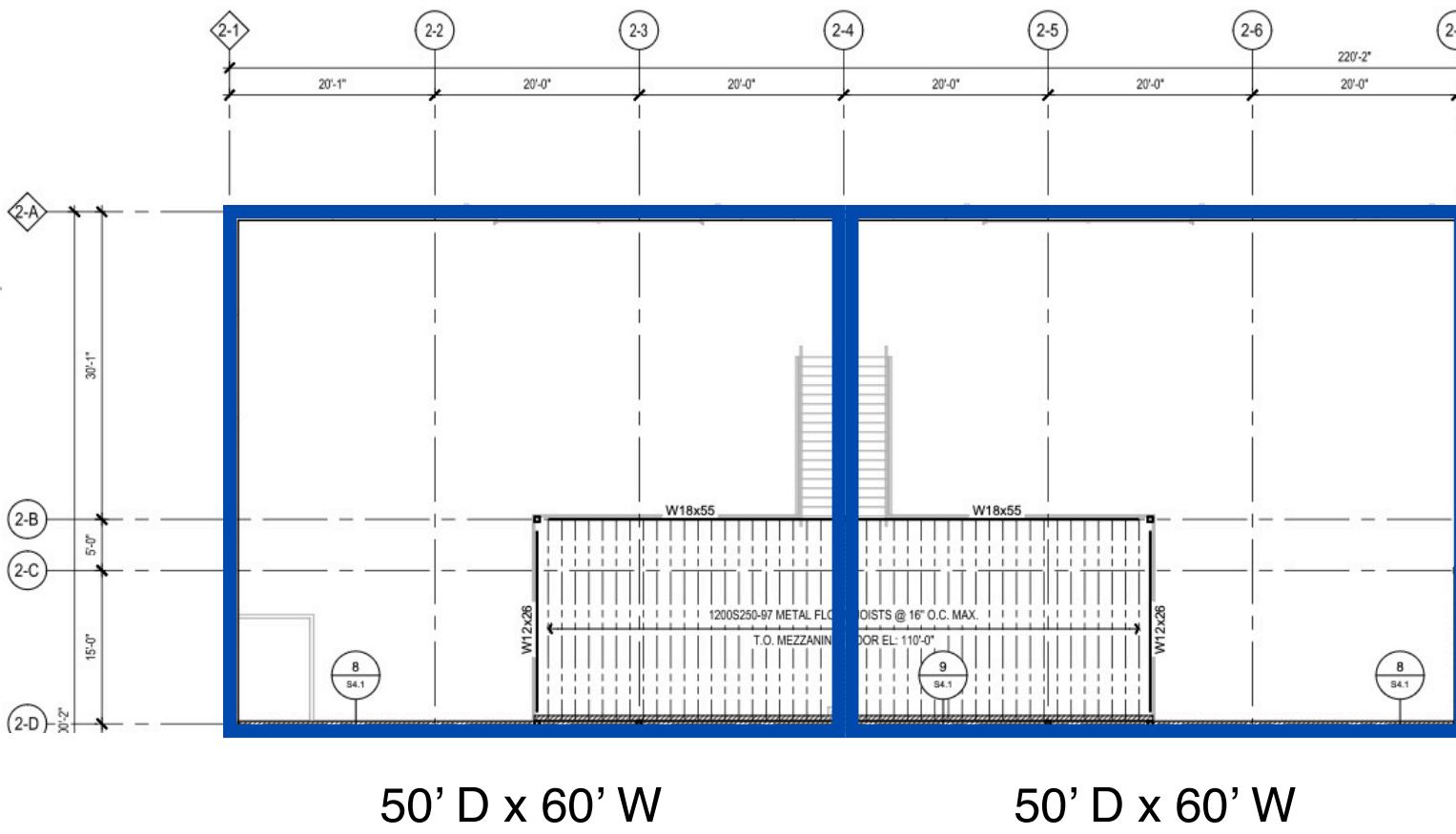
CAVEPLEX 2



Total Sqft: 3,600

3 Yr. Lease \$7,900/mo. (NNN)

Purchase: \$1,170,000



First
Floor
3,000 sqft

Mezzanine
Level
600 sqft

Our “Cave” concept



	PRIMECAVES™	PROCAVES™	SHOPCAVES™
SIZE	2,100 – 3,600	1,300 SF	1,300 SF
# OF UNITS	18	22	11
MONTHLY RENT	\$4,450– \$6,900	\$2,900–\$3,250	\$3,150–\$3,350
USES	Showrooms, private garages, luxury storage retreats	Workspaces with storage for trades, ecommerce & services	Retail units with integrated workspace and storage
TARGET	Affluent individuals, collectors, business owners	Contractors, service professionals, small business owners	Retailers, boutique operators, wellness & service brands
	PRIMECAVES™	PROCAVES™	SHOPCAVES™
RENT RANGE (NNN) \$23-\$28		RENT RANGE (NNN) \$28-\$30	
		RENT RANGE (NNN) \$29-\$30	



Join Us in Building

America's Premier Flexible Workspace Brand

What Sets FlexCaves Apart:

- ✓ Experienced team
- ✓ First-mover advantage
- ✓ Conservative underwriting
- ✓ National expansion potential
- ✓ Diversified returns



Contact Information:

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