



FlexCaves
250 E. 135th St.
Martin City, MO 64145

Why Own a PrimeCave?

Owning your own PrimeCave isn't just about space—it's about freedom, stability, and long-term value. When you purchase instead of lease, every dollar you spend builds equity in a premium real estate asset designed to grow with you. Ownership gives you control, tax advantages, and the security of knowing your luxury retreat, storage hub, or personal workspace is truly yours.

Reserve Your FlexCave Today

Benefits of Ownership



Build Equity

Turn monthly payments into long-term wealth instead of rent receipts.



Tax Advantages

Potential depreciation and deductions can reduce your taxable income.



Wealth Diversification

Add a stable, tangible real estate asset to your portfolio that balances risk and strengthens long-term wealth.



Control & Stability

Enjoy the stability of owning your space with predictable costs and long-term security.



Legacy Asset

Own something you can pass down, repurpose, or sell in the future.



What's Included – In-Unit (Standard in Every FlexCave)

- Fully finished interior (insulated, sheetrocked, painted)
- Full climate control (heating and air conditioning standard)
- Finished mezzanine level (heated and rentable space)
- Private half bath
- High ceilings with wide 14' overhead garage door
- Dedicated electrical service
- Pre-wired for cable and high-speed internet
- Clean, polished concrete floors / LVP mezzanine floors

SHOPCAVES

**Storefront Units with
Rear Storage**



PROCAVES

**Workspace for Utility &
Lifestyle**



PRIMECAVES

**Flexible, Showcase
Retreats**



Configurable Unit Options

(Selected by Unit Type – e.g., PrimeCave A, B, C)

- Kitchenette packages
- Dedicated office rooms / enclosed office space
- Center islands and built-in workbench areas
- Big-Ass Fans (HVLS ceiling fans)
- Integrated storage and cabinetry layouts

These features are selected based on the unit configuration at the time of lease or purchase, similar to choosing a floor plan rather than adding upgrades later.

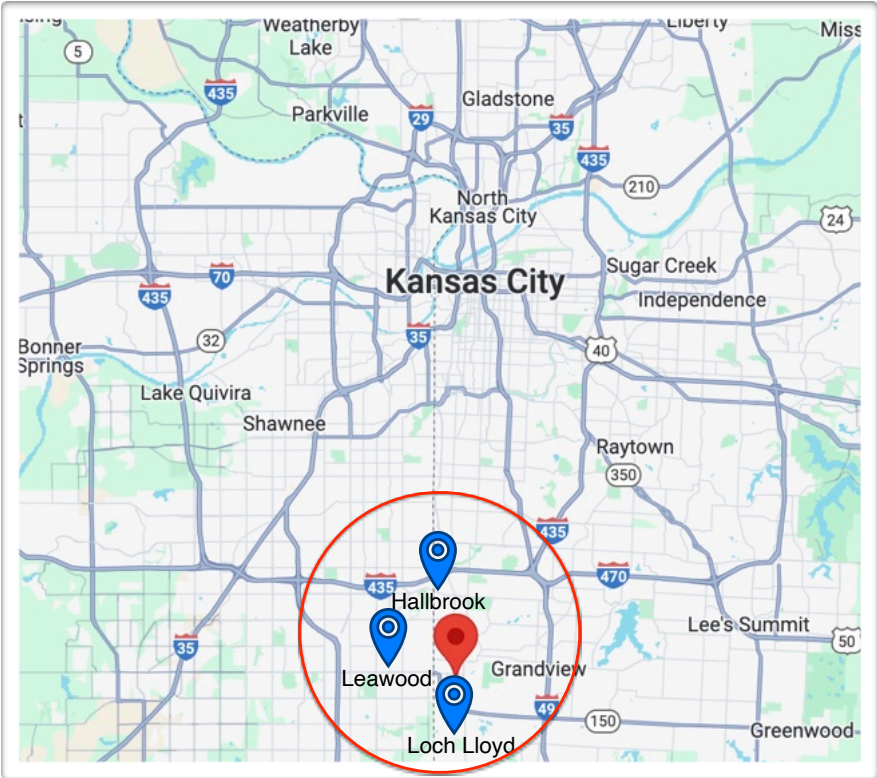


What's Included – On Property

- Gated and controlled site access
- Secure Passage security platform included
- AI-enabled perimeter cameras
- License plate recognition technology
- Facial recognition capability
- Autonomous drone patrols for after-hours monitoring
- Autonomous Incident Drone Response
- Integrated video recording and automated incident response
- Professional site lighting and visibility
- Wide drive aisles and easy maneuverability
- Premium common areas and business-friendly site design



LOCATION / SITE - Kansas City, MO (Martin City District)



SHOPCAVES

Storefront Units with
Rear Storage



Retail Entrepreneur

PROCAVES

Workspace for Utility &
Lifestyle



Contractors & Solopreneurs

PRIMECAVES

Flexible, Showcase
Retreats



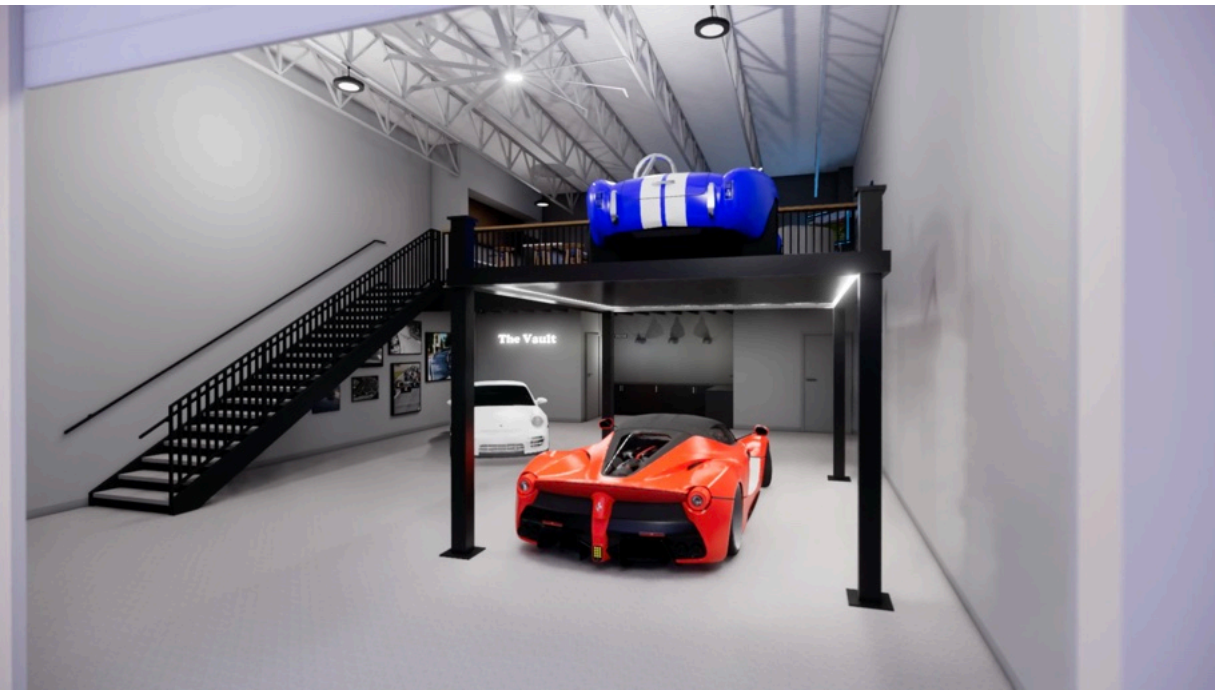
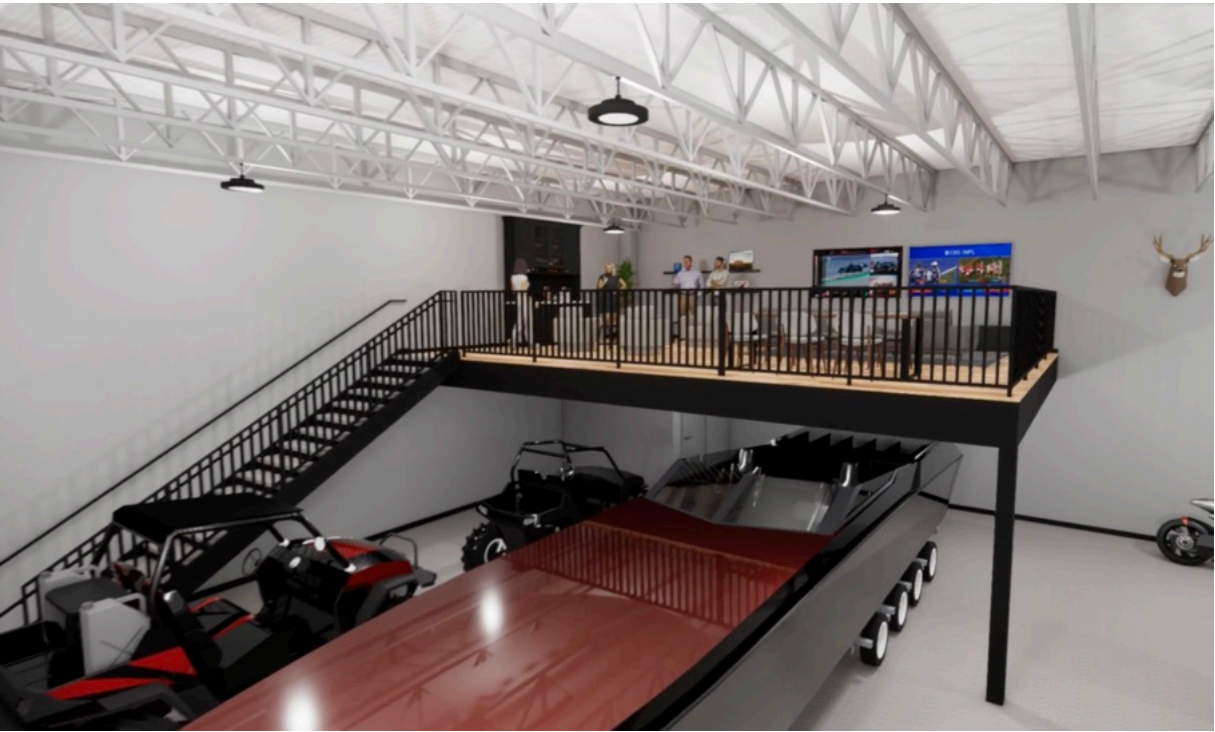
High Net worth Individuals & Professionals



ProCaves & PrimeCaves

ShopCaves - Retail/Office



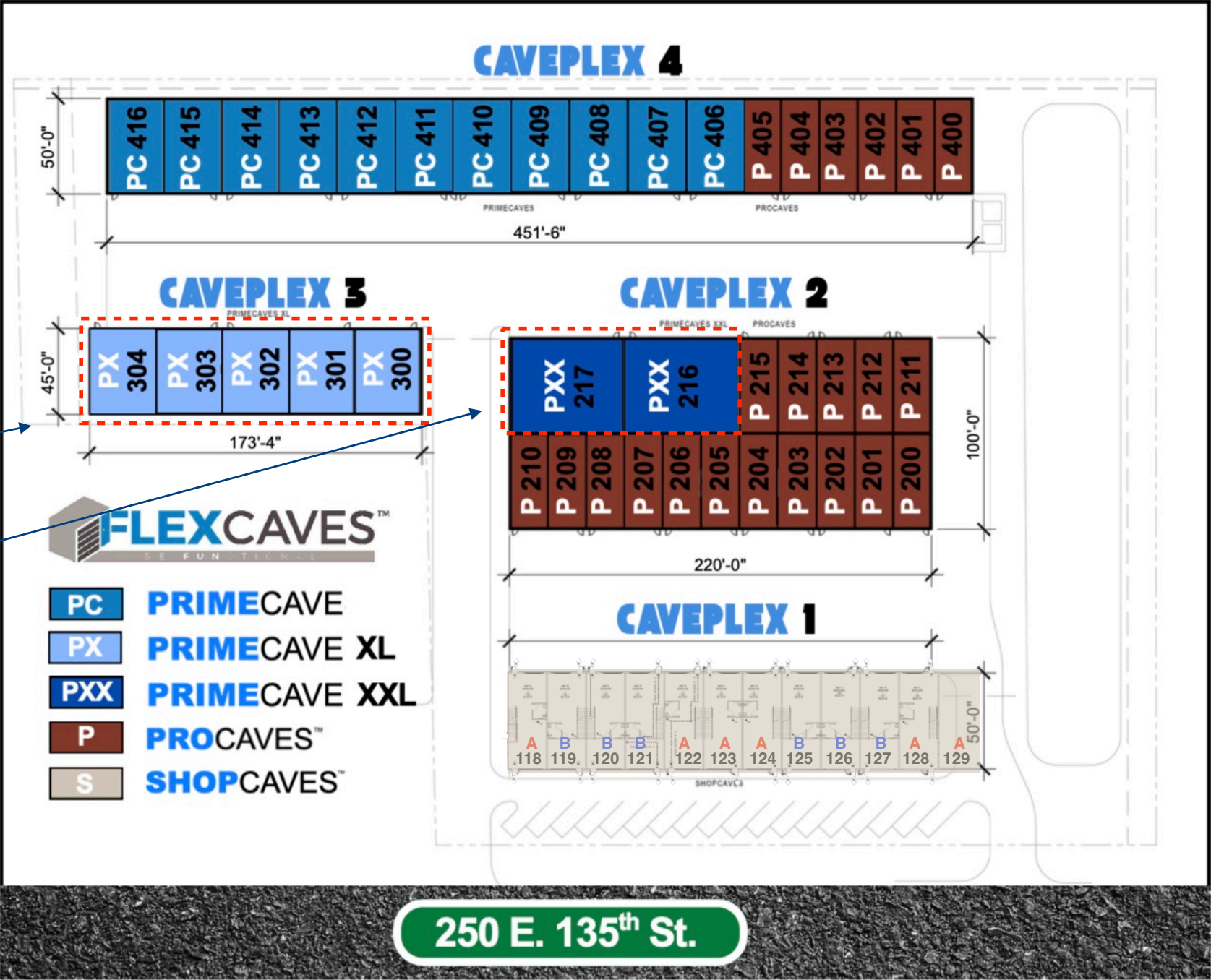


Limited Purchase Availability:

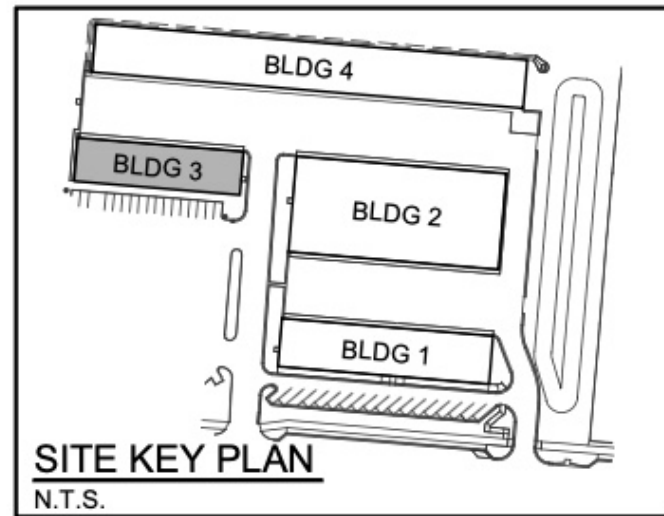
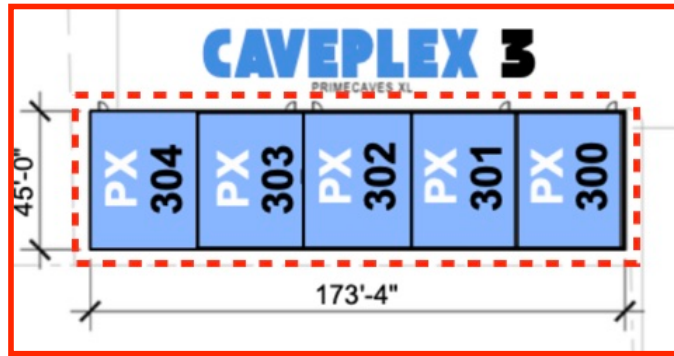
Only 7 Caves available for sale —

5 PrimeCave XLs (\$730,000)

2 PrimeCave XXLs (\$1,170,000)



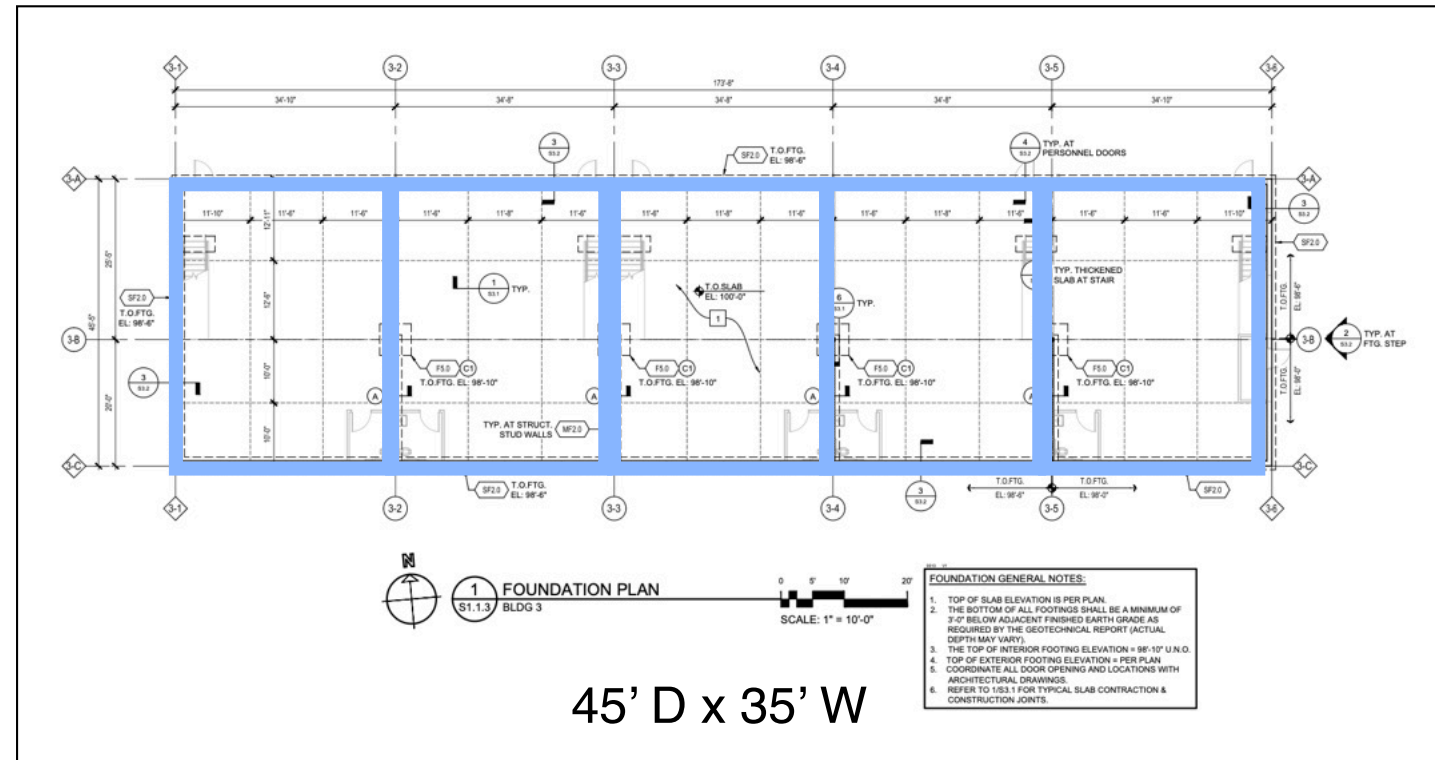
PRIMECAVE XL



Total Sqft: 2,250

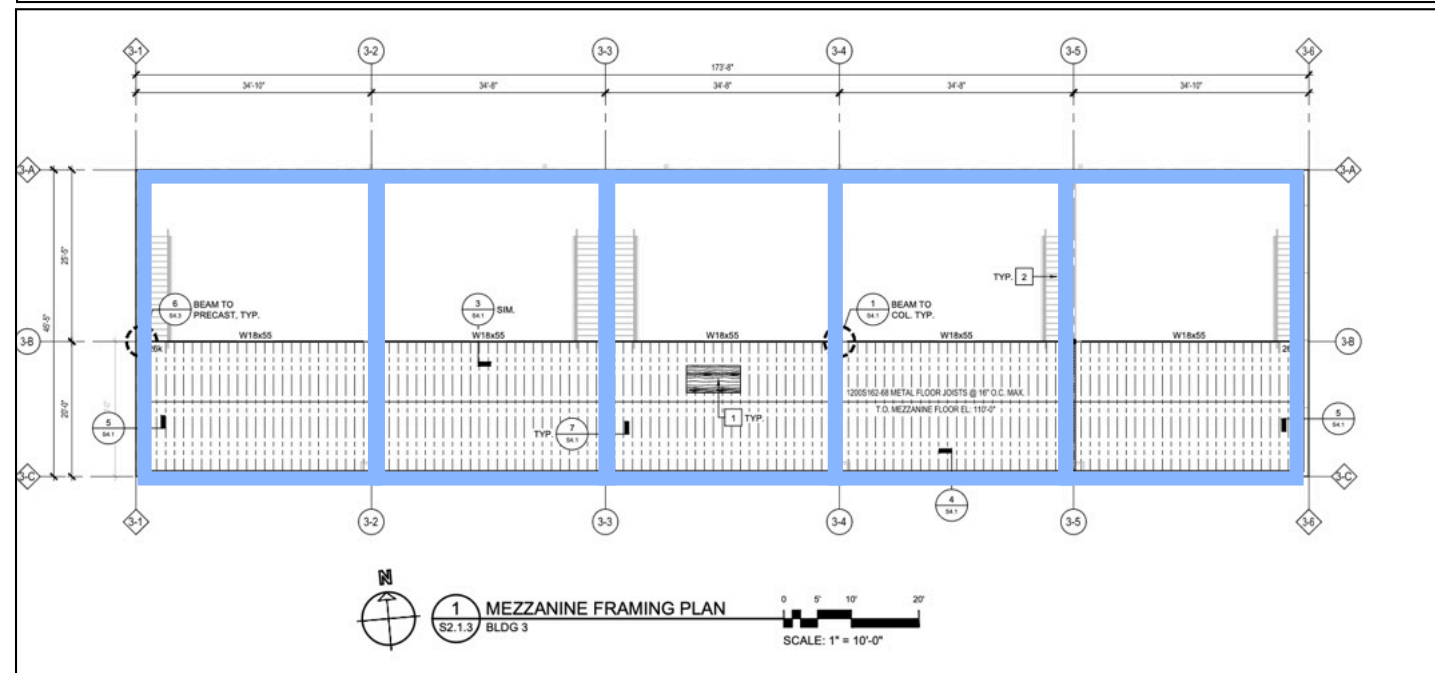
3 Yr. Lease \$5,365/mo. (NNN)

Purchase: **\$730,000**



45' D x 35' W

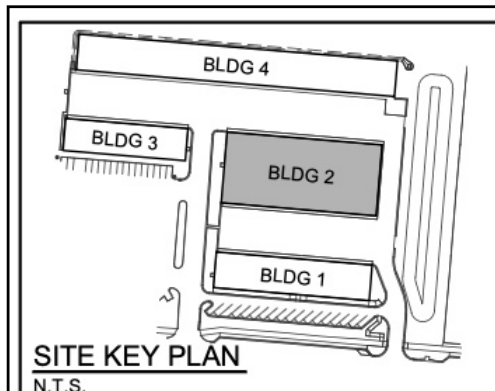
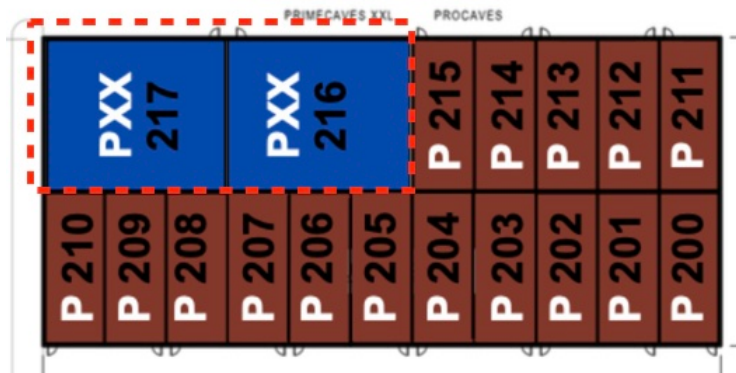
First
Floor
1,650 sqft



Mezzanine
Level
600 sqft

PRIMECAVE XXL

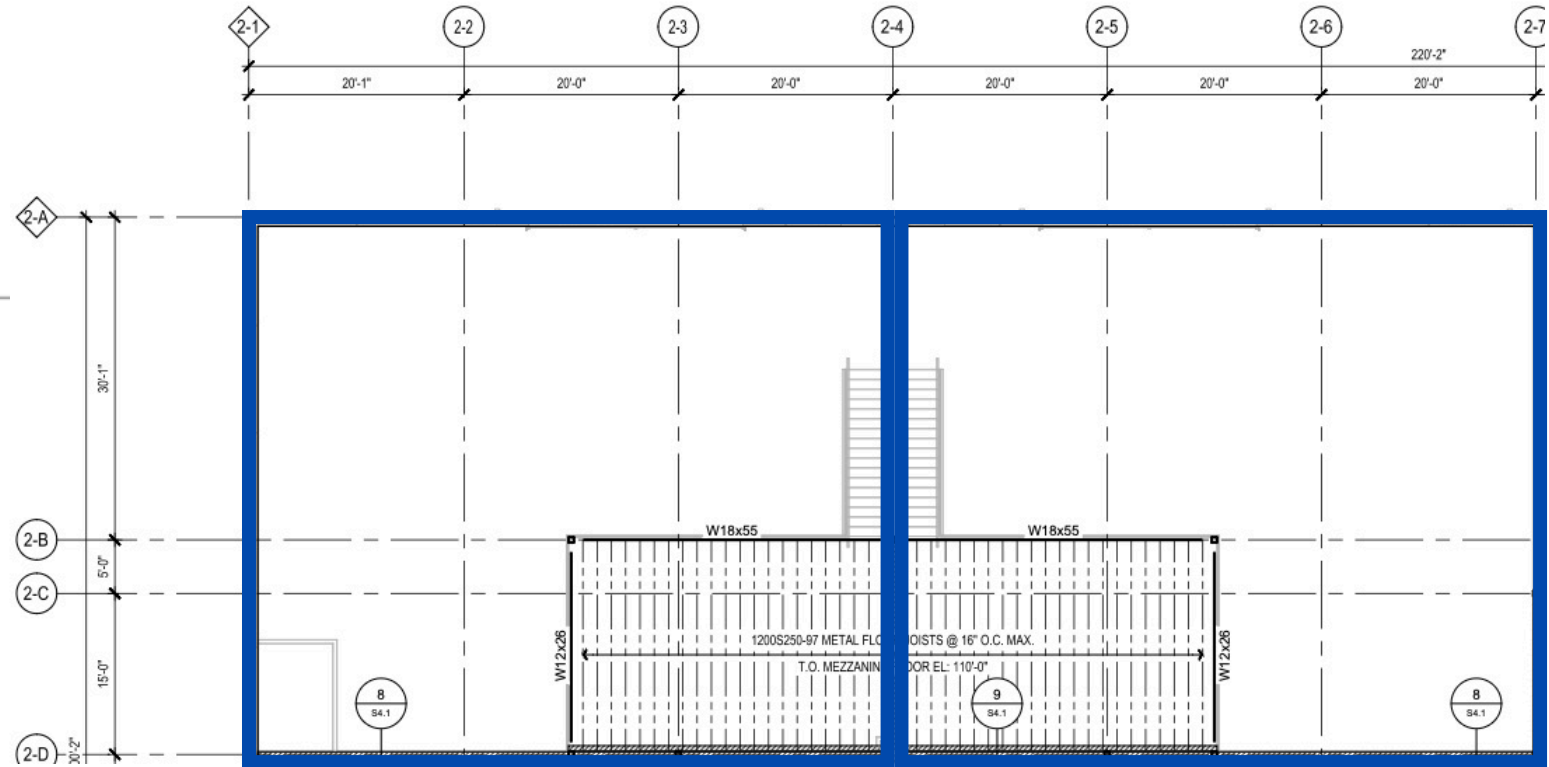
CAVEPLEX 2



Total Sqft: 3,600

3 Yr. Lease \$7,900/mo. (NNN)

Purchase: **\$1,170,000**



50' D x 60' W

50' D x 60' W

Our “Cave” concept



| | PRIMECAVES™ | PROCAVES™ | SHOPCAVES™ |
|--------------|---|---|--|
| SIZE | 2,100 – 3,600 | 1,300 SF | 1,300 SF |
| # OF UNITS | 18 | 22 | 11 |
| MONTHLY RENT | \$4,450– \$6,900 | \$2,900–\$3,250 | \$3,150–\$3,350 |
| USES | Showrooms, private garages, luxury storage retreats | Workspaces with storage for trades, ecommerce & services | Retail units with integrated workspace and storage |
| TARGET | Affluent individuals, collectors, business owners | Contractors, service professionals, small business owners | Retailers, boutique operators, wellness & service brands |
| | PRIMECAVES™ | PROCAVES™ | SHOPCAVES™ |

RENT RANGE (NNN) \$23-\$28

RENT RANGE (NNN) \$28-\$30

RENT RANGE (NNN) \$29-\$30



Join Us in Building America's Premier Flexible Workspace Brand

What Sets FlexCaves Apart:

- ✓ Experienced team
- ✓ First-mover advantage
- ✓ Conservative underwriting
- ✓ National expansion potential
- ✓ Diversified returns

Contact Information:

Brett Johnson CEO & President

Cave Development

✉ brett@caveblue.com

☎ (913) 626-2237

Investment Inquiries

✉ investors@flexcaves.com

☎ 1-844-FLEXCAVES

